



FORM-BASED ZONING REPORT

▶ **FILE #:** 4-A-26-OB **AGENDA ITEM #:** 13
 POSTPONEMENT(S): 4/9/2026 **AGENDA DATE:** 5/14/2026
 ▶ **APPLICANT:** RYAN ROBERTSON
 OWNER(S): Doyle E Arp Kerbela Temple Holding Corp.

TAX ID NUMBER: 109 A B 00103 [View map on KGIS](#)

JURISDICTION: City Council District 1

STREET ADDRESS: 315 KERBELA AVE

▶ **LOCATION:** South side of Sevier Ave, west side of Dawson St

▶ **APPX. SIZE OF TRACT:** 5.7 acres

SECTOR PLAN: South City

GROWTH POLICY PLAN: N/A (Within City Limits)

ACCESSIBILITY: Access is via Kerbela Ave, a local road with 21-27 ft of pavement width within 35-40 ft of right-of-way, via Mimosa Ave, a local road with 20-26 ft of pavement width within 35-40 ft of right-of-way, via Dawson St, a local road with 21 ft of pavement width within 24-30 ft of right-of-way, and via Sevier Ave, a major collector with 30 ft of pavement width within 46-58 ft of right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

FIRE DISTRICT: Knoxville Fire Department

WATERSHED: Tennessee River

▶ **ZONING:** SW-6 (South Waterfront, Henley Gateway), SW-5 (South Waterfront, Bell Tower Walk)

▶ **EXISTING LAND USE:** Public/Quasi Public Land

▶ **PROPOSED USE:** Multifamily

HISTORY OF ZONING: The property was rezoned from C-2 and R-3 to SW-6 and SW-5 as part of the adoption of the South Waterfront Form Code District (10-Y-06-RZ).

SURROUNDING LAND USE AND ZONING:

North: Agriculture/forestry/vacant land, office, multifamily - SW-5 (South Waterfront, Bell Tower Walk), SW-6 (South Waterfront, Henley Gateway)

South: Single family residential, multifamily residential, agriculture/forestry/vacant land - SW-3 (South Waterfront, Sevier Avenue), SW-6 (South Waterfront, Henley Gateway), RN-4 (General Residential Neighborhood)

East: Multifamily residential, public-quasi public (church) - SW-3 (South Waterfront, Sevier Avenue)

West: Multifamily residential, public-quasi public (parking structure) - SW-6 (South Waterfront, Henley Gateway)

NEIGHBORHOOD CONTEXT This property is located at the southern terminus of Gay Street, between the established commercial and residential districts along Sevier Avenue to the east and Blount Avenue and Chapman Highway to the west.

STAFF RECOMMENDATION:

- **Per Article 7.0.2.G., the Planning Commission should consider this request based on the approval criteria in subsection 8.a. and the attached Zoning Administrator report.**

COMMENTS:

This request is a Level III, Alternative Compliance Review, of the Form Base Code Districts (Article 7.0.2.G.), which requires approval by the Planning Commission. Alternative compliance review is intended to allow developments and nonprohibited uses that would not otherwise be allowed under a strict interpretation of the Form District regulations but nevertheless comply with the intent of the applicable Form District and Plan.

KNOXVILLE-KNOX COUNTY PLANNING COMMISSION ACTION FOR LEVEL III, ALTERNATIVE COMPLIANCE REVIEW (Article 7.0.2.G.7)

The Commission may take any of the following actions:

1. The Knoxville-Knox County Planning Commission must hold a public hearing subsequent to notification, consistent with its Administrative Rules and Procedures.
2. The Knoxville-Knox County Planning Commission must approve or deny the application, or send the application back to the Administrative Review Committee for additional consideration.
3. In the exercise of its approval, the Knoxville-Knox County Planning Commission may impose such conditions regarding the location, character or other features of the proposed buildings as it may deem advisable in the furtherance of the general purposes of the applicable Form District Plan.

Approval Criteria (Article 7.0.2.G.8)

- a. In reviewing an application for Alternative Compliance Review in cases other than applications concerning reconstruction or expansion of nonconforming structures in which nonconforming uses operate, the Knoxville-Knox County Planning Commission must consider the following:
 - i. Consistency with the applicable adopted Plan;
 - ii. That the development will not have a substantial or undue adverse effect upon the neighborhood, the character of the area, traffic conditions, parking, public infrastructure, and other matters affecting the public health, safety and general welfare;
 - iii. That the development will be constructed and operated to be compatible with the district;
 - iv. That the proposed development can be adequately served by public facilities;
 - v. That the proposed development will not result in the destruction, loss, or damage of any significant natural, scenic, or historical district, site, or feature;
 - vi. Compliance with the intent of the applicable Form District and Plan;
 - vii. Compliance with all applicable Zoning Ordinance requirements;
 - viii. Compliance with all applicable Subdivision regulations;
 - ix. Compliance with the Major Road Plan;
 - x. Compliance with the One Year Plan; and
 - xi. Compliance with the Stormwater and Street Ordinance.

Knoxville-Knox County Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



MEMORANDUM

Date: 05/13/2026
TO: Knoxville-Knox County Planning Commission
FROM: Peter Ahrens, Director of Plans Review & Inspections
RE: 315 Kerbela

Project Introduction:

The purpose of this communication is to reiterate the role of the Planning Commission in its consideration of the proposed development at 315 Kerbela Avenue under a Level III Alternative Compliance Review.

Process:

Pursuant to Article 7.0.2.G of the Zoning Ordinance, the Planning Commission's responsibility is to evaluate whether the proposed development, while not compliant with the strict interpretation of the form district regulations, nevertheless complies with the intent of the form district plan and the approval criteria.

Context:

The Planning Commission should recognize that the property is split-zoned between the SW 5 and SW 6 districts, making it uniquely situated within the South Waterfront. Each district carries distinct visions, intents, and siting standards, and applying these standards to a single large parcel creates practical challenges not typically encountered on smaller, single-zoned properties.

If the site were subdivided into compliant parcels and the building(s) were sited in accordance with the code's prescriptive requirements, a development of comparable scale and intensity could largely be achieved by right. Therefore, the request before the Planning Commission is not fundamentally about use or density, but rather about flexibility in site design and building placement across a unified development, as opposed to a fragmented, prescriptive approach.

Additionally, the site presents significant topographical challenges, including steep slopes and elevation changes, which limit the ability to fully comply with build-to lines, frontage requirements, and other siting standards without substantial grading or impractical design solutions.

The development team has also engaged in an ongoing design process with both staff and members of the surrounding community. In response to feedback, the applicant has made significant revisions, including reductions in building height and massing, and has incorporated enhancements to public access and connectivity, including pedestrian linkages, preservation of existing features, and efforts to maintain views toward the Tennessee River.

Recommendation:

The Administrator respectfully submits that this request represents a circumstance in which alternative compliance is appropriate, not as a means to circumvent the ordinance, but to enable a cohesive

development that might otherwise be achieved in a more fragmented and less coordinated manner under strict compliance.

Planning Commission Evaluation Process:

In summary, the Commission's review should focus on whether the development meets the established approval criteria, while also recognizing the unique site conditions, split zoning, and design considerations that necessitate an alternative compliance approach. The applicable approval criteria are as follows:

- i. Consistency with the applicable adopted Plan;
- ii. That the development will not have a substantial or undue adverse effect upon the neighborhood, the character of the area, traffic conditions, parking, public infrastructure, and other matters affecting the public health, safety, and general welfare;
- iii. That the development will be constructed and operated in a manner compatible with the district;
- iv. That the proposed development can be adequately served by public facilities;
- v. That the proposed development will not result in the destruction, loss, or damage of any significant natural, scenic, or historical district, site, or feature;
- vi. Compliance with the intent of the applicable Form District and Plan (see attached Vision and Intent sections);
- vii. Compliance with all applicable Zoning Ordinance requirements;
- viii. Compliance with all applicable Subdivision regulations;
- ix. Compliance with the Major Road Plan;
- x. Compliance with the One Year Plan; and
- xi. Compliance with the Stormwater and Street Ordinance.



Zoning Administrator Report for Level III: Alternative Compliance Review

315 Kerbela Avenue

Peter Ahrens, Director
City of Knoxville, Plans Review and Building Inspections

I. Background

The parcel located at 315 Kerbela Avenue lies within the South Waterfront Form-Based Code and is uniquely situated within both the SW-5 (*Bell Tower Walk*) and SW-6 (*Henley Gateway*) zoning districts. This parcel is the only property within the South Waterfront Form-Based Code area that contains contiguous multiple zoning designations that has been redeveloped since the adoption of the South Waterfront Form-Based Code and the establishment of the Administrative Review Committee.

The vision and intent for the SW-5 district is to *create a “window-to-the-water” from the Baptist Church on Sevier Avenue leading down to the riverfront. New buildings are organized along the civic plaza called “Bell Tower Walk” and are oriented perpendicular to the river so as not to inhibit views to the river from the bluff. The Bell Tower Walk is the center of a lively area on the Knoxville South Waterfront where outdoor restaurants, fairs and musical events attract local Knoxvilleans and regional visitors both day and night and year round. Low to mid-rise, mixed-use or multiple unit housing developments face this linear open space and are encouraged to have commercial development on the first floor.*

The vision and intent for the SW-6 district is to *establish a new entrance into downtown Knoxville, as well as a Chapman Highway gateway leading south to the Smoky Mountains. Capitalizing on the presence and economic opportunities of the Baptist Hospital, this area shall host multi-story office buildings, attracting new businesses to South Knoxville. A high-rise hotel with sweeping river views could accommodate business professionals as well as a multitude of city visitors. New mid-rise towers facing the park are envisioned as a compliment to the surrounding institutional uses and to the scale of the Baptist Hospital. Landscaped plazas not only provide professionals with pleasant lunchtime spaces, but also establish a pedestrian-friendly connection from City View to Bell Tower Walk and Waterfront Marketplace.*

II. Process

In the Form Based Code Districts, Article 7.0.2.G.1 states that, *“Alternative Compliance Review is intended to allow developments and nonprohibited uses that would not otherwise be allowed under a strict interpretation of the Form District regulations but nevertheless comply with the intent of the applicable Form District and Plan.”*

Due to site-specific topographical conditions and the property’s unique characteristic as a large, contiguous parcel zoned within both the SW 5 and SW 6 districts, each with distinct visions, intents, and Zoning Ordinance requirements, a strict interpretation of the Ordinance is not practicable. Accordingly, the proposed development has been submitted as a Level III: Alternative Compliance Review.

III. Administrative Review Committee

The application and project drawings were distributed to members of the Administrative Review Committee on March 18, 2026. On March 30, 2026, the initial ARC review was completed and comments were sent to the applicant. A revised plan was

submitted on April 27, 2026, and the second ARC review began the following day. The following comments were identified and provided to the applicant on May 5, 2026:

- Article 7.1.3.F.3.a/b & 7.1.3.G.3.a/b - Guide lot layout and outline the maximum block perimeter and building setbacks permitted in this district to ensure walkable neighborhoods. Block size -Maximum perimeter of 1,400 feet. This development appears to exceed the maximum block size perimeter of 1,400 feet. The development will need to be subdivided or this development will need approval as a Level III: Alternative Compliance Review.
- Article 7.1.3.F.4 & 7.1.3.G.4 – Lot Size Max – 3 acres. This development exceeds the lot size maximum for both the SW-5 and SW-6 district of 3 acres and will need to be subdivided or this development will need approval as a Level III: Alternative Compliance Review.
- Article 7.1.3.F.4 – Footprint/Floorplate (max) – 30,000sf; does not apply to structured parking. This development exceeds the footprint/floorplate max of 30,000sf on the SW-5 zoned portion of the property with a provided measurement of 39,000sf (overall total 58,000sf). This standard will need approval as a Level III: Alternative Compliance Review.
- Article 7.1.3.G.4 – Footprint/Floorplate (max) – 50,000sf; does not apply to structured parking. Based on previous discussions, this development may exceed the footprint/floorplate maximum and without specific details it is not possible to verify at this time. Please provide additional information regarding this standard. If the development does exceed the maximum this will need approval as a Level III: Alternative Compliance Review.
- Article 7.1.3.F.4 & 7.1.3.G.4–Principal Building Siting – Front Setback – 0’. The site plan provided shows a front setback of 69’-0” from Sevier Avenue. This does not meet the front setback standard and will need approval as a Level III: Alternative Compliance Review.
- Article 7.1.3.F.4 –Principal Building Siting – Frontage at Setback (min) – 75% to River Rd. and Sevier Ave. The site plan provided shows the building sited beyond the front setback and therefore the development does not meet the frontage at setback minimum of 75%. This will need approval as a Level III: Alternative Compliance Review.
- Article 7.1.3.F.4 & 7.1.3.G.4 –Principal Building Siting – Side Setback (max) – 25’. The site plan provided shows the building sited at 56’-0” from the Dawson St. interior side lot line and the building sited 32’-0” from the eastern interior lot line both of which are over the maximum side setback of 25’. This will need approval as a Level III: Alternative Compliance Review.
- Article 7.1.3.F.6 & 7.1.3.G.6– Building Entries – Ground Level - Min 70% transparent glass at the ground level on the principal frontage. The provided elevations show a ground floor glazing calculation of 71%; however, there is a note that suggests that the

ground floor area of the garage was excluded from the calculations. The ground floor area of the garage shall be included in the calculations and the complete ground floor transparency calculation is unable to be determined on your elevation plan. Please provide a transparency calculation that includes the garage ground floor area. If the calculation is less than 60%, it will need approval as a Level III: Alternative Compliance Review.

- **(INFO ONLY)** Article 7.1.3.F.9.b & 7.1.3.G.9.b – Sustainability – Green Building and Landscape – Capable of attaining the current Leadership in Energy and Environmental Design (LEED) minimal Performance Level of "Certified." Applicant has provided a draft LEED Certification with a target certification of silver (50 points). A formal certification will be reviewed during permitting.
- Article 7.1.3.F.9.c & 7.1.3.G.9.c – Sustainability – Reflectivity, Heat Island Reduction, Roof and Surface Lots. Surface lots shall provide shade and/or use light-colored/high albedo materials with a solar reflectance of at least 0.3 (30%). Applicant has indicated that a mix of pervious and impervious materials will be used for the surface parking lot; however, specific details regarding the materials used and their capability of meeting this standard have not been provided. Please provide additional details regarding the materials being used to show that compliance will be met.
- Article 7.1.3.F.9.c & 7.1.3.G.9.c – Sustainability – Roofs shall use an Energy Star Compliant (highly reflective) for a minimum of 75% of the roof surface. Please provide specific details regarding the materials used for roofing and how they will meet this standard.
- Minimum ROW sidewalk width is 5 feet. Additional sidewalk width, landscape strip width, or other ROW impacts will be subject to detailed design review and may require modifications to the widths and layouts shown as part of the ARC submittal. Deferral of that detailed ROW review is acceptable at this time to allow ARC and Planning Committee review to proceed, with the understanding that those approvals would not be impacted by revised ROW improvements, provided onsite structure locations and required setbacks remain unchanged.
- When scaled, at least two locations still appear to exceed 2H:1V slopes. Detailed design review may require additional retaining walls so as not to impact the site layout.
- In accordance with Sections D106.2 and D106.3 of Appendix D in the 2024 International Fire Code, two separate and approved fire apparatus access roads are required for this project. If the two access points/parking lots do not connect, then approved turnarounds must be provided.
- Please provide dimensions verifying the remoteness required by IFC D106.3.
- A landscape plan is required for ARC review in order to determine if the landscape-specific requirements of the form-based code will be met.

- If exact species to be planted are not known at this time, trees and shrubs can be represented by symbols that show proposed quantities, locations, and spacing and additional details can be added at a later date. At minimum, trees should be denoted as shade trees (mature height 50ft or greater) or ornamental (mature height <50ft) or evergreen. The plan should show any trees to be preserved, as well. Include a schedule including the quantities of all proposed trees and shrubs.
- See additional comments for a list of code requirements.
- The Tree Protection Ordinance will apply for the total property size. The exact size was not provided and the lot is not platted, but an estimate based on KGIS of ~5.75 acres is used for the calculations below.
 - Sec. 14-34(b) requires preservation of 6 trees per acre which would be ~35 trees for the total estimated property size. There are few trees that could count toward preservation along the hillside, but not 35 total. Any that are preserved will count proportionally toward the planting requirement in Section 14-36 (8 trees per acre) which would be a total of ~46 trees, half of which must reach a mature height of 50ft or greater.
 - Article 7.1.3.F.2.c.ii. also requires preservation of either 1 healthy large tree per lot or 6 per acre, whichever is greater (6/ac is greater in this case and will be applied in accord with the Tree Protection Ordinance since the requirement is the same).
 - We will want to see diversity in the tree species selected. Use the requirements in Article 12.4.B as a guide.
 - Planting space and terrain was expressed as a concern. Because the site is large and varied and will be excavated for building construction, space for trees should be included in the excavation. Tree pits can be dug out similar to downtown street trees or soil can be added on top of the rock. Tree species that can grow with limited root space include eastern redcedar, catalpa, overcup oak, ginkgo, Frontier elm, Kentucky coffeetree, trident maple, and others.
- The general development standards in Article 7.1.4.D.1. require:
 - b. A visual buffer of landscaping between surface parking and adjacent properties
 - This will apply to the west parking area where 8 parking spaces abut the adjacent lot.

- c. Any parking lot adjoining a public street shall be screened from view to a height of 3 feet by walls, berms or landscaping or a combination of these 3. If landscaping only is used, the planting bed shall be a minimum of 10 feet wide.
 - This will apply to the west parking area that most closely abuts Kerbela Ave.
- d. Separate parking areas from buildings by use of a raised walkway or planting strip. Avoid directly abutting parking aisles or spaces to the edge of a building.
 - This will apply where parking abuts the building.
- The vision plan lists streets as ST-42-24-PL to the east and west. This also applies to the corner side Dawson St. Article 7.1.5.D. requires street trees at 30' OC, 5' wide continuous planting strip for this street type. We will defer to Engineering and Zoning for whether the planting strip will be required along the sidewalks.
 - Note that street trees in the ROW (outside of private property) do not normally count toward the density requirements listed above. If the planting strip is not required by Engineering, the trees that would have been planted in the ROW can potentially be incorporated along the property lines but on private property to serve some of the same intent (provide shade for the walking paths, creating the tree-lined street aesthetic, reduced noise, etc.).

IV. Administrator Action

In Article 7.0.2.G.6.c, *“the Administrator must prepare a report that reviews the application in light of comments provided by the Administrative Review Committee, and in light of the applicable Form District and Plan. The report recommendations, and any related application materials must be forwarded to the Knoxville-Knox County Planning Commission.”*

The applicant is continuously working with the Administrative Review Committee to resolve outstanding comments that do not necessitate approval through a Level III: Alternative Compliance Review by the Planning Commission. These items will remain under review by the Administrative Review Committee until the proposal satisfies all applicable standards, including Stormwater Engineering and Urban Forestry requirements, and final approval is granted.

Article 7.1.2 describes the Vision Plan Executive Summary as follows: *“The Knoxville South Waterfront Vision and Action Plan is an effort to develop, through extensive public involvement, a coordinated plan and realistic series of prioritized actions to improve the waterfront area across from downtown. The plan is not intended to be rigid and inflexible. The basic framework of the plan describes a series of public transportation and open space improvements designed to allow access and views to the water throughout the South*

Waterfront. The plan is designed to accommodate a realistic range of market-driven redevelopment over the next 20 years.”

In contrast, the vision and intent statements for the individual districts reference former structures and unimplemented concepts that are no longer applicable, including the former Baptist Hospital, a cultural center, a museum, an outdoor amphitheater, and a high-rise hotel. This divergence reflects a departure from the flexible, long-range framework established in the Vision Plan Executive Summary, which was intended to guide, rather than rigidly prescribe, the vision and intent for each district.

In addition, the development team has met with members of the South Waterfront community regarding the proposed development. Consideration of the community’s feedback has resulted in the current proposal, which reflects a reduction in both overall height and massing compared to the original submission. The development team has also committed to enhancing public access and connectivity, including a pedestrian linkage to Kern’s Food Hall, preservation of the historic stairs, and the incorporation of an east-west connection to maintain views of the Tennessee River.

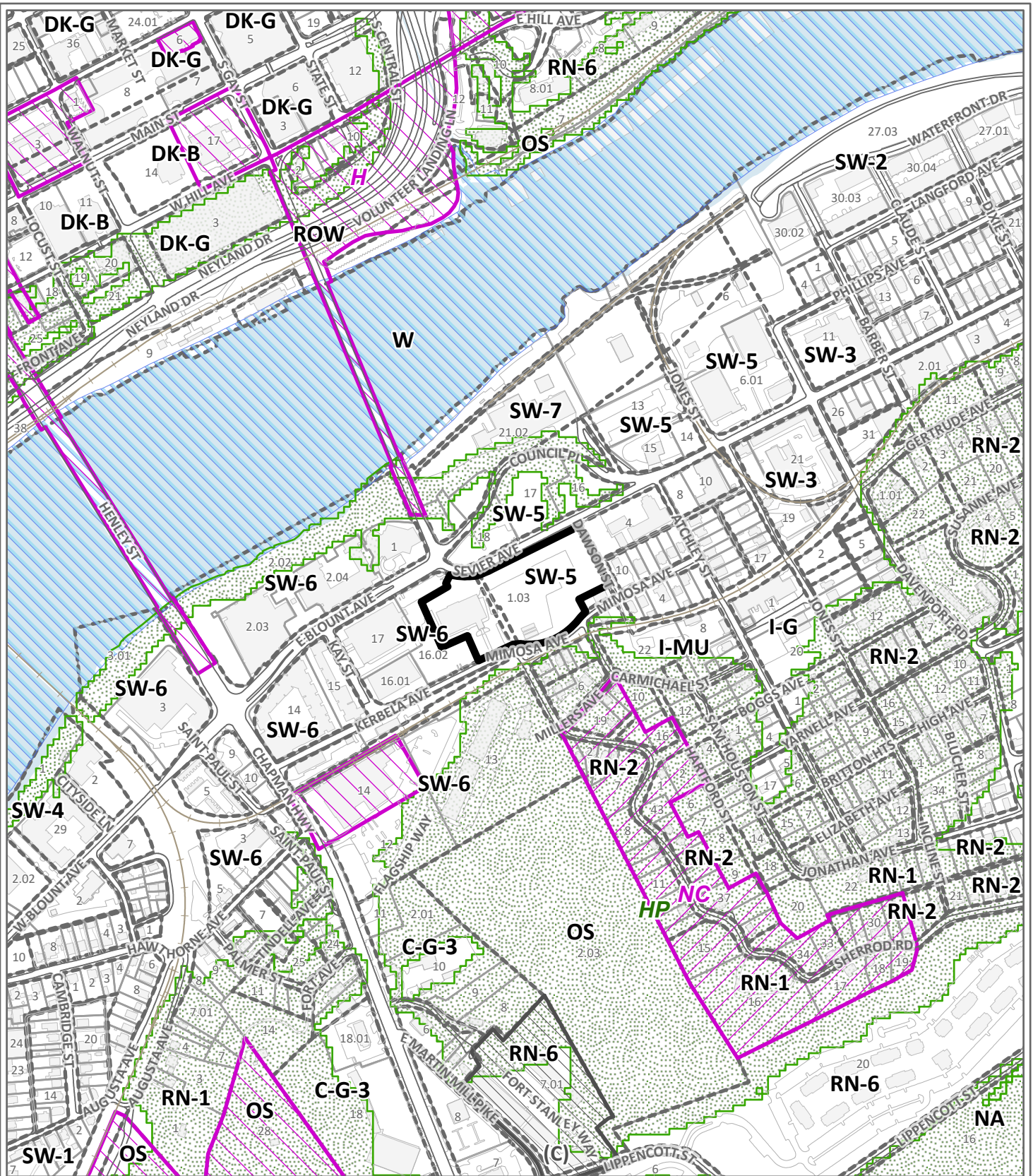
As previously noted, the subject property presents unique conditions in that it is zoned within both the SW-5 and SW-6 districts, each of which prescribes differing principal siting standards pursuant to Article 7.1.3.F and G of the Zoning Ordinance. Furthermore, the applicant has identified site-specific topographical constraints that complicate construction along the required build-to street frontages that would otherwise be expected to accommodate commercial spaces.

It is the Administrator’s recommendation that the Planning Commission consider the proposed Level III: Alternative Compliance Review in light of these unique site conditions, the applicant’s ongoing coordination with the Administrative Review Committee, and the efforts undertaken to address both regulatory requirements and community input in regards to massing and public connectivity.

Respectfully,



Peter M. Ahrens
Director of Plans Review and Inspections



OTHER BUSINESS

4-A-26-OB

Petitioner: Ryan Robertson



Purpose of Request: Level III Alternative Compliance Review in the SW-6 and SW-5 (South Waterfront) district for a proposed multi-family development

Original Print Date: 3/2/2026

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 109

Jurisdiction: City

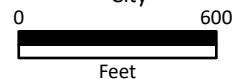


Exhibit A. Contextual Images



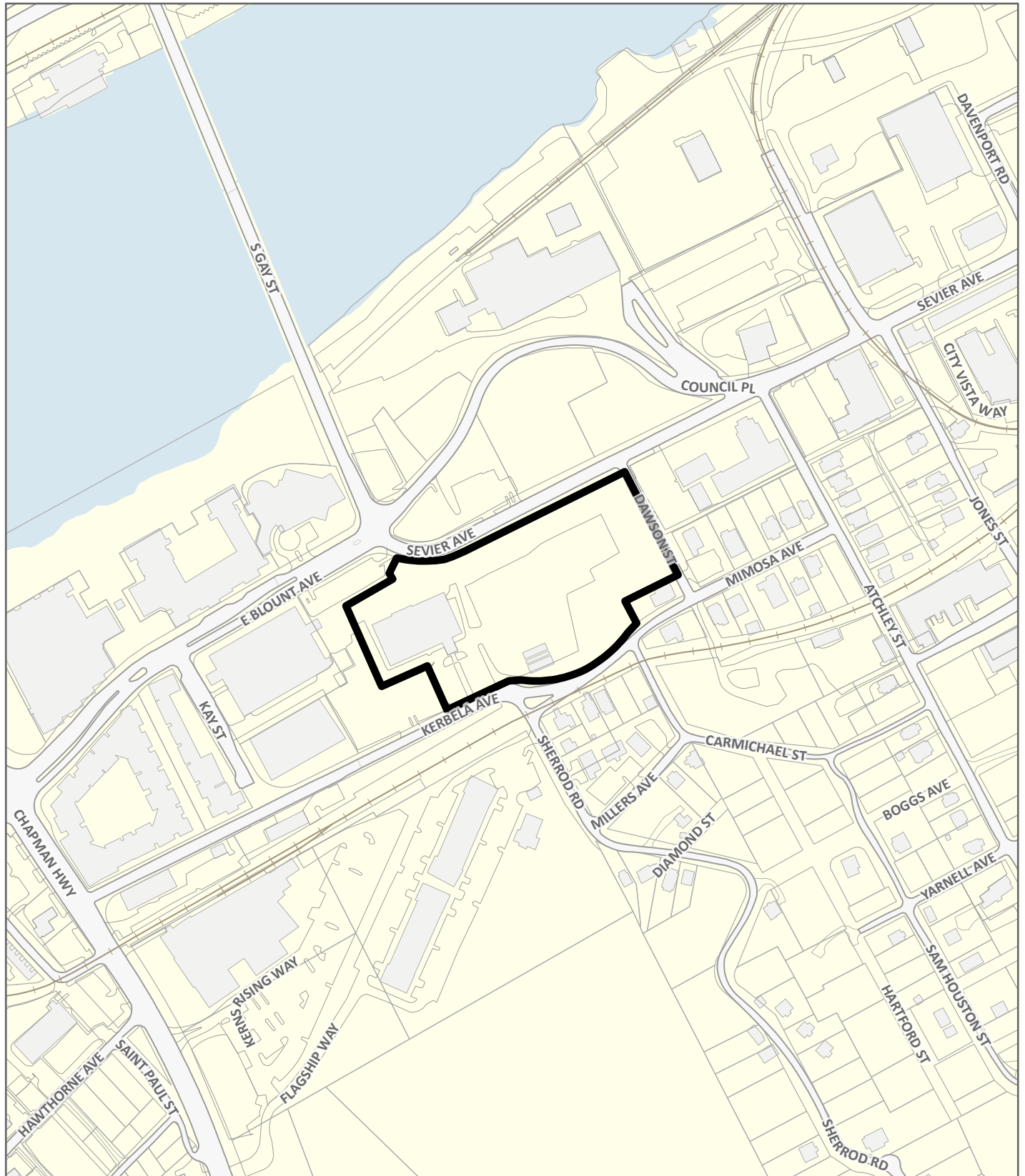
AERIAL MAP



Case boundary



Exhibit A. Contextual Images

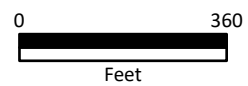


LOCATION MAP

4-A-26-OB



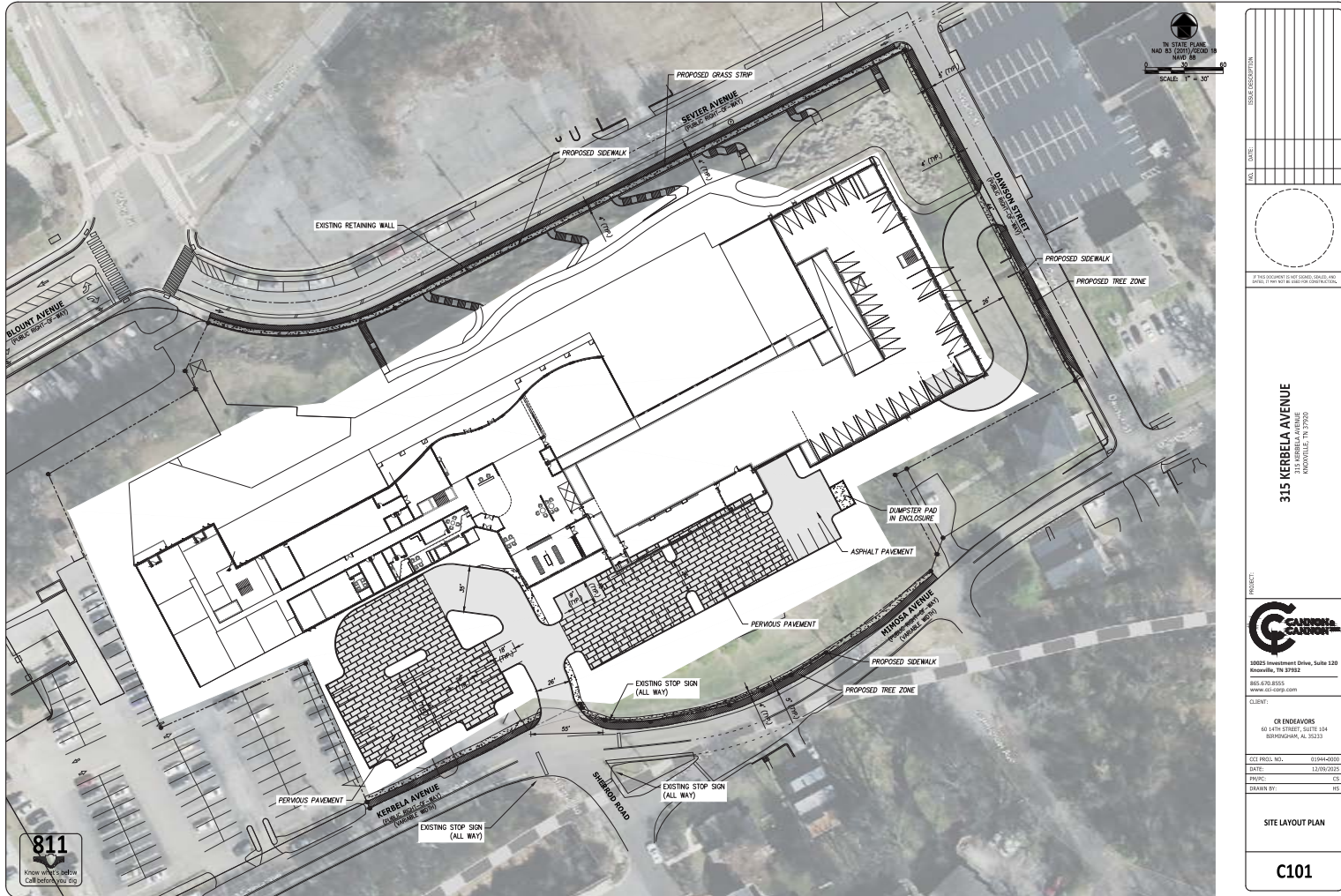
Case boundary



315 Kerbela Ave
Knoxville, TN
April 27, 2026

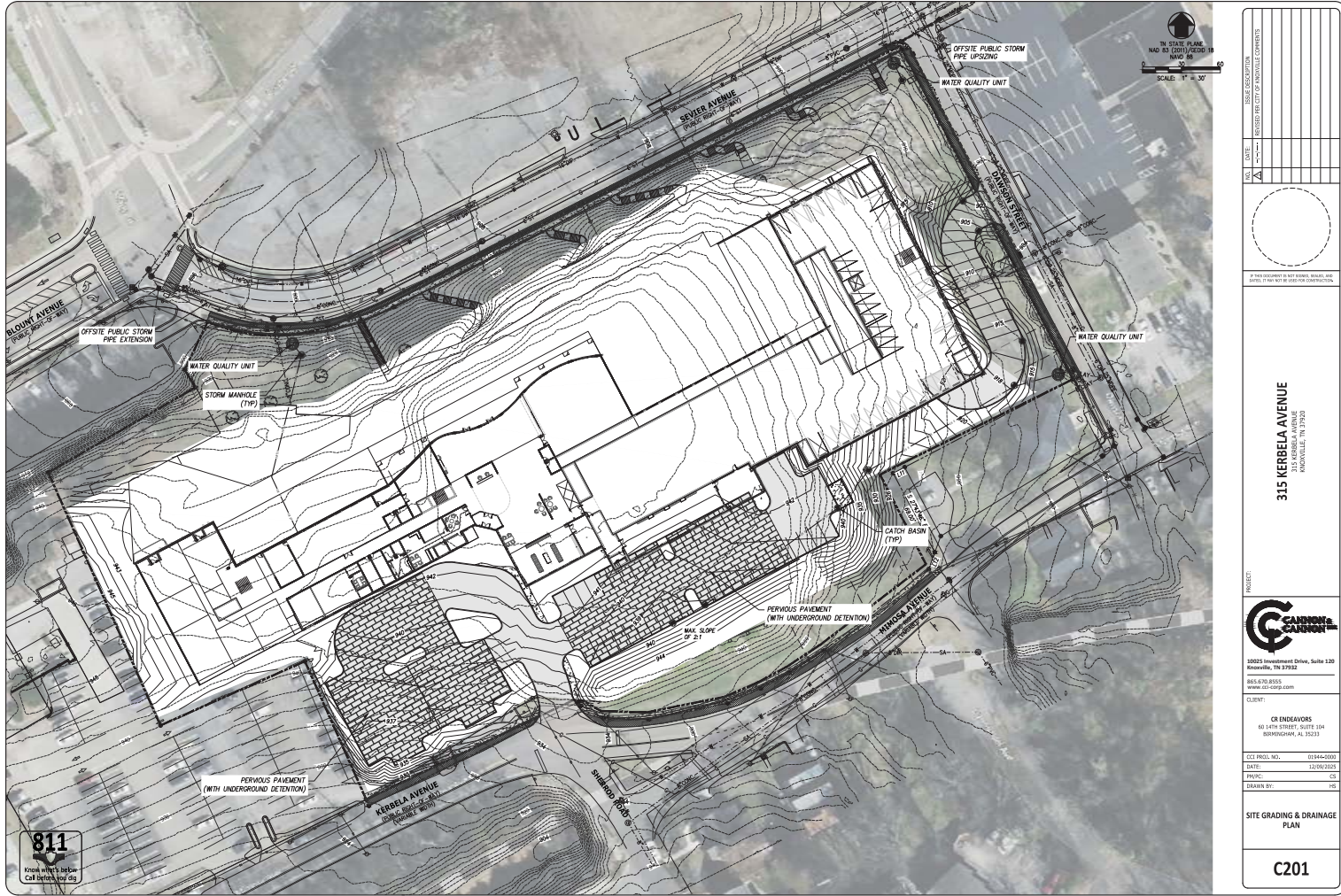


Civil Plan - Site Layout Plan



ISSUE DESCRIPTION	
NO.	
DATE	
NO.	
<p>IF THIS DOCUMENT IS NOT COMPLETED, SIGNED, AND DATED, IT IS NOT VALID FOR CONSTRUCTION.</p>	
<p>315 KERBELA AVENUE KNOXVILLE, TN 37902</p>	
<p>PROJECT:</p> 	
<p>30222 Inverness Drive, Suite 120 Knoxville, TN 37902 865.670.8555 www.cdmg.com</p>	
<p>CLIENT:</p> <p>CR ENDEAVORS 61 14th Street, Suite 104 Birmingham, AL 35213</p>	
<p>CCP PROJ. NO. 01044-0000</p>	<p>DATE: 12/19/2025</p>
<p>PNPC: CS</p>	<p>SCALE BY: NS</p>
<p>SITE LAYOUT PLAN</p>	
<p>C101</p>	

Civil Plan - Site Grading & Drainage Plan



Transportation Diagram

Site Access

The site is located at the termination of the Gay St. Bridge and Sevier Ave. The South Waterfront Master Plan calls for multi-modal transportation options around the site including bike infrastructure, bus stops, and accessible pedestrian connections. The Mid River portion of the Master Plan prioritizes connectivity to this green way network and the sites centralized location allow for easy access to enjoyable active transportation options.



- Bus Stop
- Existing Greenway
- Proposed Complete Street
- New Complete Street
- Existing Complete Street
- Proposed Greenway
- Proposed Greenway
- Existing Public Space
- Existing Complete Street
- Existing Pedestrian Bridge

Site Topography

Existing Site Conditions

The site topography is generally steep and rocky. The perimeter of the site has slopes as steep as 40% with the worse conditions being along Sevier Ave. The Kerbela Shriners Temple and a large surface parking lot are currently occupying the buildable area centrally located on the site.



Site Topography: Reference Images

Existing Site Conditions

A large surface parking area encompasses the majority of the central portion of the site. This parking area slopes up to 20% towards Dawson St.

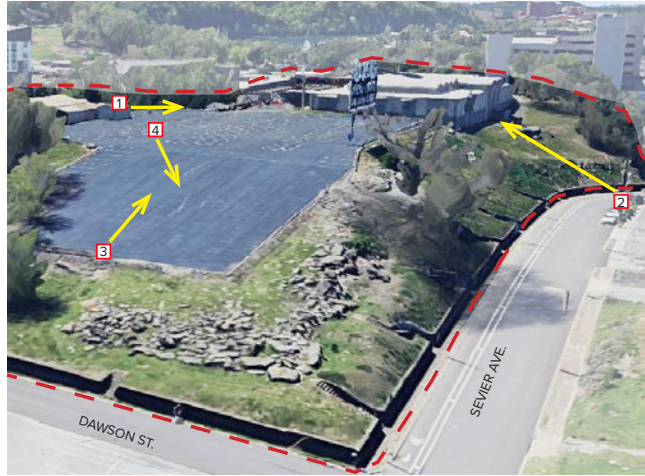


Image Key



1. Facing North along Kerbela Ave.



2. Facing South along Sevier Ave.



3. Facing West along Dawson St.



4. Facing Northeast from the peak of site

Site Topography: Reference Images

Existing Conditions at Sevier Ave

A series of existing concrete stairs are present that originally provided access to a row of demolished houses set back from the road to avoid the steepest part of the slope. These stairs terminate in an existing retaining wall that runs the length of the property line along Sevier Ave. While not currently code compliant, the stairs provide an interesting architectural feature that references the history of the site and will be incorporated into future site planning. The slope of Sevier Ave. is not currently ADA accessible. While it is appropriate to maintain pedestrian connections and bike infrastructure, the grade and existing site features present a unique hardship that impedes the ability to create a complete street with building frontage.

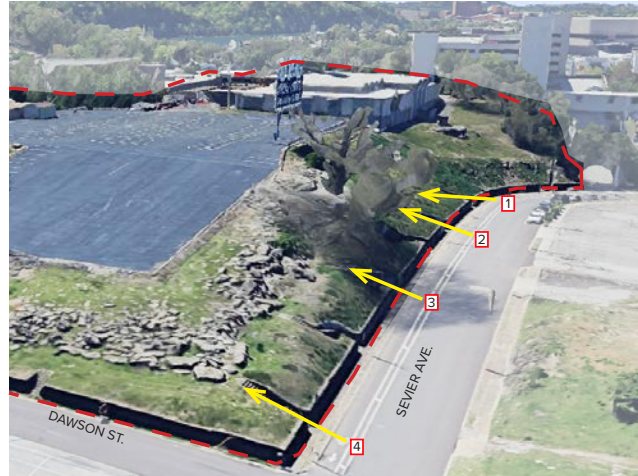


Image Key



1. Existing Concrete Stairs along Sevier Ave.



2. Existing Concrete Stairs along Sevier Ave.



3. Existing Concrete Stairs along Sevier Ave.



4. Existing Rocky Outcropping along Sevier Ave.

Site Precedent | Connecting the Waterfront



Bowline Apartments | Champlin, MN



South Banks Apartments, Knoxville | Riverfront Connectivity



Livano Knoxville | South Waterfront District - Down River



Marina Square Waterfront Apartments | Seattle, WA

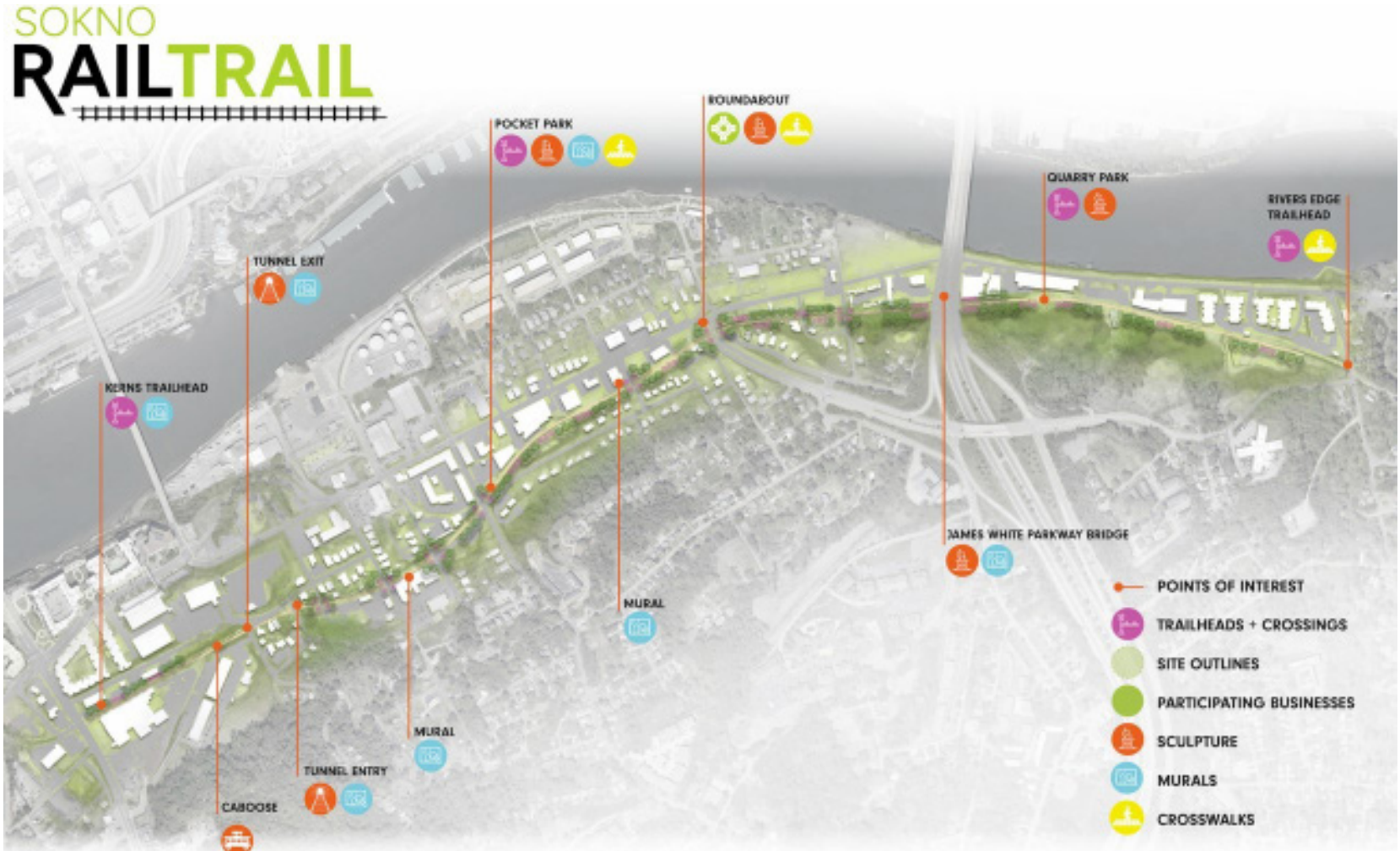


Apex Hudson Riverfront Apartments | Yonkers, NY

Site Precedent | SOKNO Rail Trail

Site Information

The SOKNO Rail Trail follows the Tennessee River, linking the South Knoxville neighborhoods with the city's expanding network of greenways and outdoor spaces. As it connects to the downtown via the Gay Street pedestrian bridge, the trail helps knit together both sides of the river with a continuous, walkable route for cyclists, runners, and daily commuters. With Knoxville continuing to grow, development around the trail is expected to encourage mixed-use spaces, outdoor recreation, and shared public areas that strengthen community camaraderie and make the riverfront an even more vibrant gathering place.



Livano Knoxville | South Waterfront District - Down River

Architectural Narrative

Project Parameters:

Overall Building GSF = 366,901 SF
Number of Units – 217-223
Indoor Amenity - 18,000 - 25,000 SF
Outdoor Courtyard Amenity- 47,036 SF

Number of Parking Spaces –
228-235 Total
69 Surface Spaces
159-163 Structured Garage Spaces

Project Overview

315 Kerbela is a 5.7-acre, split-zoned (SW-5 / SW-6) site in Knoxville's Southwest Waterfront District. The proposal is an active-adult apartment community of approximately 217 units composed of two buildings connected at ground level by a shared lobby and resident gathering space. The design transforms an unimproved lot into a walkable, mixed-use edge that advances the district vision and form-based code objectives.

Response to Context and Vision

The project implements the Southwest Waterfront district framework by activating the street edge, supporting appropriate density, and preserving adjacent waterfront stairs and viewpoints along Sevier Ave. Repairs and preservation of existing stairs will allow public to walk and use the stairs for views along the river walk. The development reinforces the district's goal of creating a vibrant, pedestrian-oriented urban neighborhood that balances new residential growth with civic benefit and historic character.

Site and Urban Design

Two distinct but related volumes (East wing — six stories; West wing — five stories) bookend a landscaped central courtyard. The massing steps down toward the west to reduce perceived scale from the street. The central courtyard and adjacent hardscape form flexible gathering space for residents, drawing activity into the site and reinforcing a human-scaled block pattern. New sidewalks along Mimosa and Kerbela Ave will be added to improve walkability with a landscape buffer. Along Sevier Ave- improvements and landscape will be added to the existing sidewalks.

Form-Based Code and Material (SW-5 / SW-6 Compliance)

Materials follow the SW form-based code emphasis on durable, high-quality, street-oriented facades: masonry (primary), natural stone and stone-treated concrete accents, and expansive glazing at ground level for visual permeability and activation. Secondary materials include carefully detailed board-and-batten panels and select siding accents to articulate façade bays, create rhythm, and reflect Knoxville's heritage. Warm, finished wood tones are used at the primary connection and lobby to provide a pedestrian-scaled, inviting material expression. Large window openings and private balconies are composed of activating façades while maintaining modulation and human scale. Articulated banding, recessed entries, and vertical/fenestration breaks reduce perceived mass and align with SW-5/6 façade requirements.

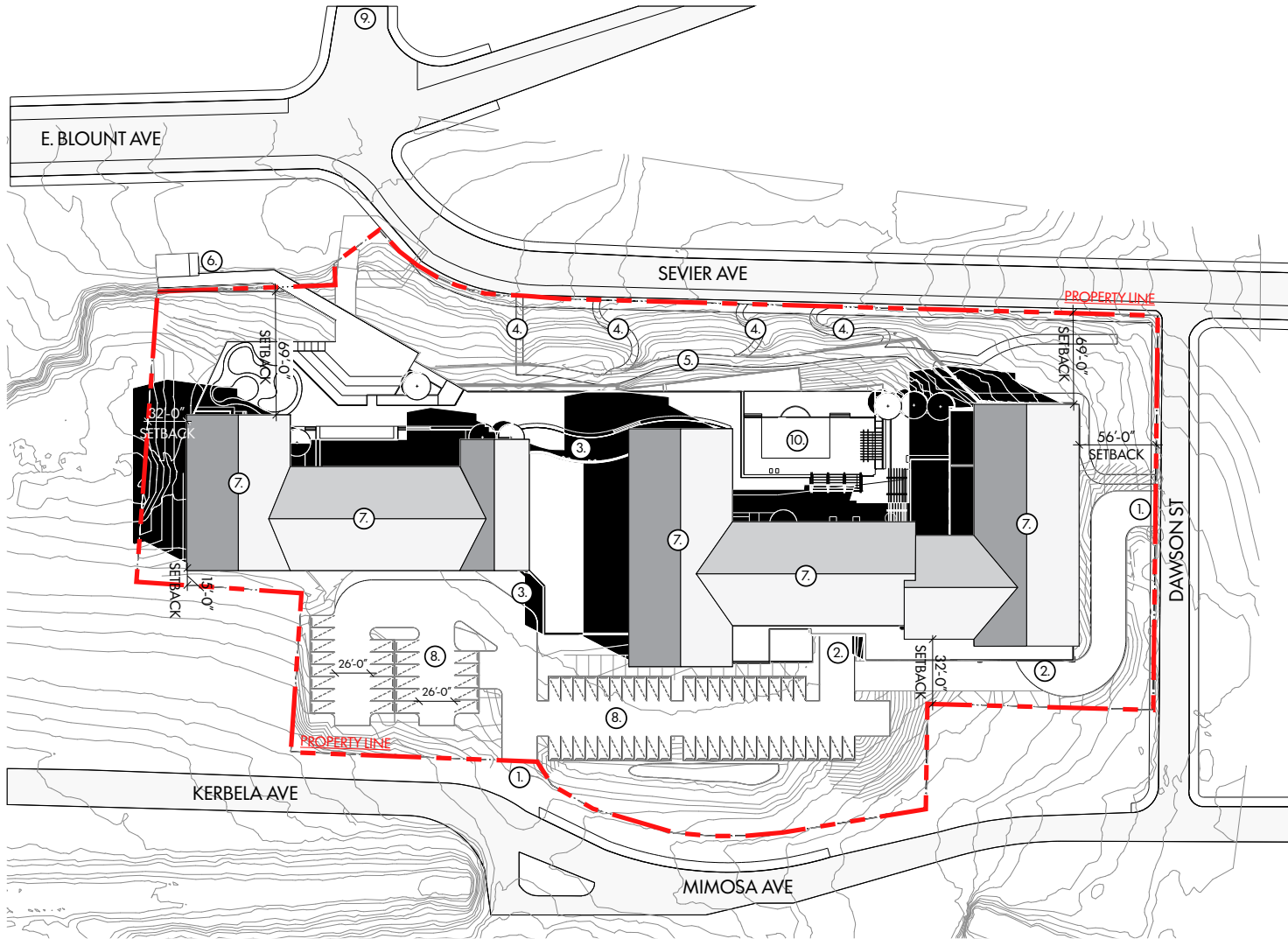
Sustainability, Mobility, and Public Benefit

The design prioritizes walkability and multimodal access: new sidewalks, improved street lighting, on-site bike parking for residents and storage, and connections to nearby transit and waterfront trails.

Stormwater management strategies and durable low-maintenance materials reduce long-term lifecycle costs and improve site resiliency.

The project delivers public benefits through site improvements, increased local housing supply per the Southwest Framework vision (active adult market), and enhanced property tax revenue to support municipal services.

Site Plan - Architectural (New Design)



- KEY
1. Vehicular Entry
 2. Garage Entry
 3. Bulding Entry
 4. Existing to Remain Stairs
 5. Public Walking Path
 6. Public Elevator
 7. HVAC Well
 8. Surface Parking
 9. Gay Street Bridge Beyond
 10. Swimming Pool

SCALE: 1"=80'

True North 

**MICHAEL
GRAVES**

 CR ENDEAVORS


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Rendered Site Plan (New Design)



- KEY
1. Vehicular Entry
 2. Garage Entry
 3. Bulding Entry
 4. Existing to Remain Stairs
 5. Public Walking Path
 6. Public Elevator
 7. HVAC Well
 8. Surface Parking
 9. Swimming Pool

SCALE: 1"=80'
True North 

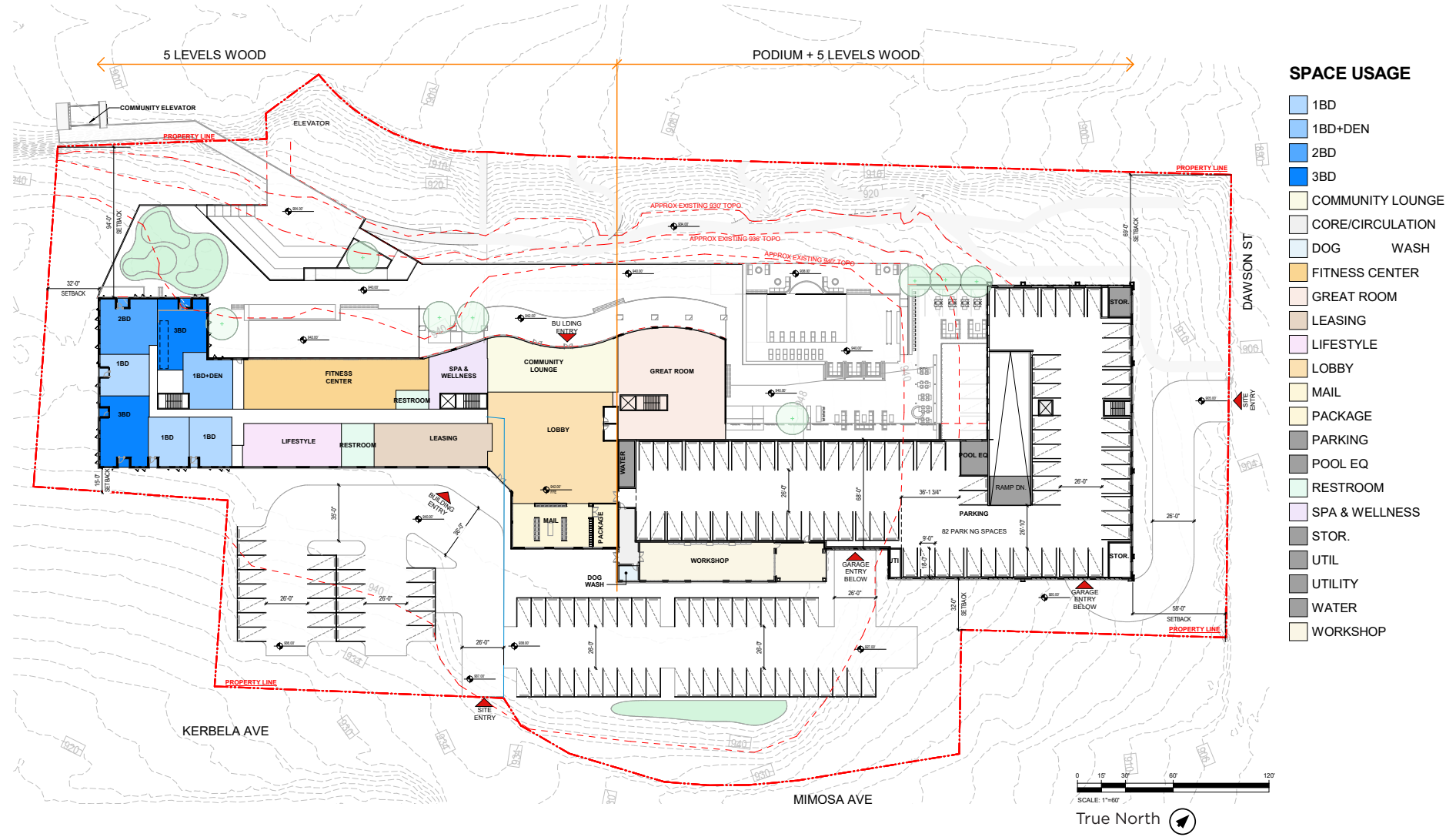
**MICHAEL
GRAVES**

 CR ENDEAVORS

4-A-26-OB
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315 Kerbela Ave, Knoxville, TN
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LEVEL 01



SPACE USAGE

- 1BD
- 1BD+DEN
- 2BD
- 3BD
- COMMUNITY LOUNGE
- CORE/CIRCULATION
- DOG WASH
- FITNESS CENTER
- GREAT ROOM
- LEASING
- LIFESTYLE
- LOBBY
- MAIL
- PACKAGE
- PARKING
- POOL EQ
- RESTROOM
- SPA & WELLNESS
- STOR.
- UTIL
- UTILITY
- WATER
- WORKSHOP

Perspective 01



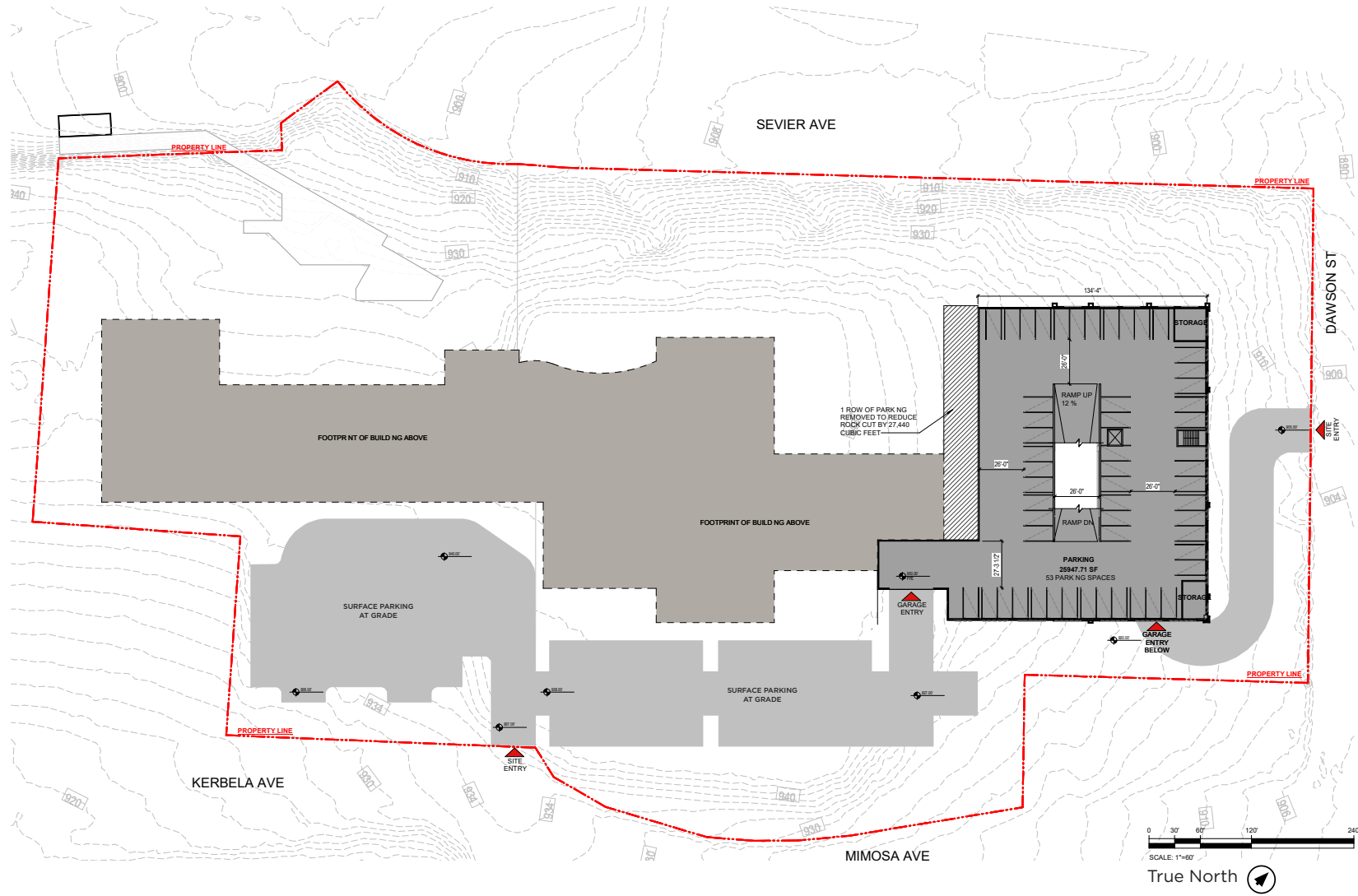
Perspective 02



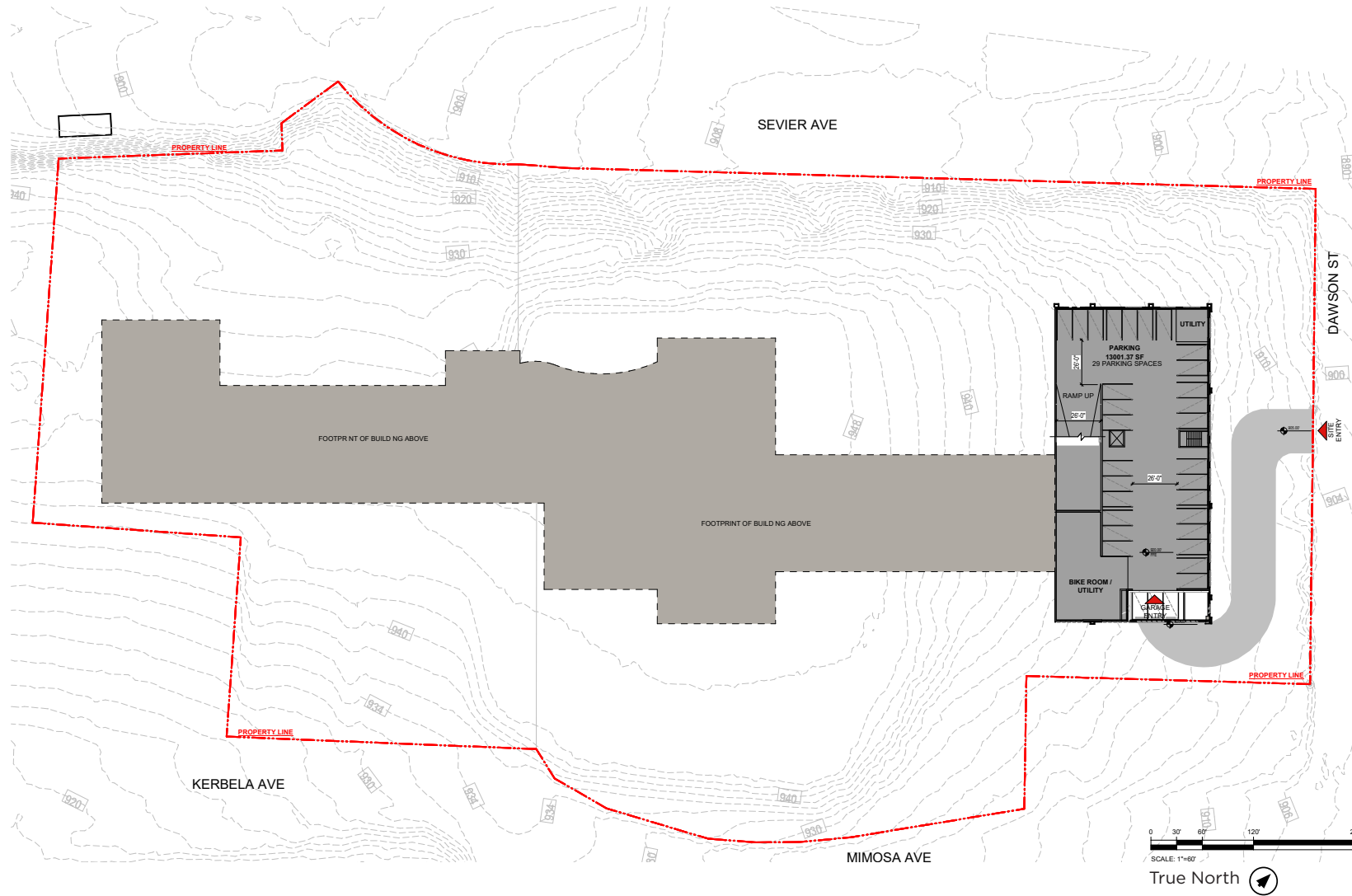
Perspective 03



GARAGE LEVEL 01



GARAGE LEVEL 02 (STREET LEVEL)



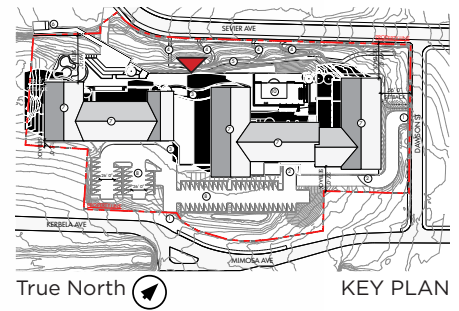
North Elevation

Ground Floor Glazing Calculation:
 Wall Area: 5,714 SF*
 Glazing Area: 4100 SF*
 Percentage: 71.7%

*Glazing percentages do not include garage area



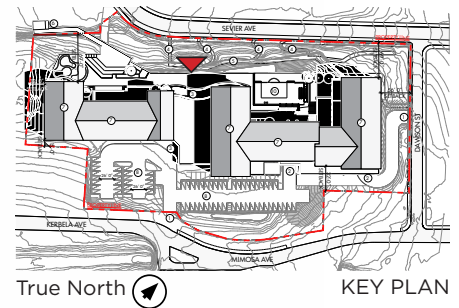
SCALE: 1"=60'



KEY PLAN



SCALE: 1"=60'

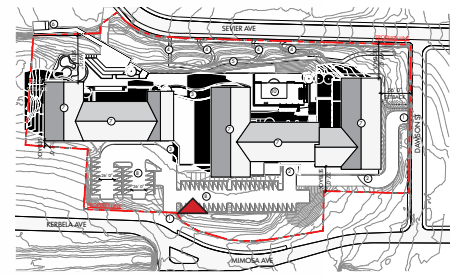


KEY PLAN

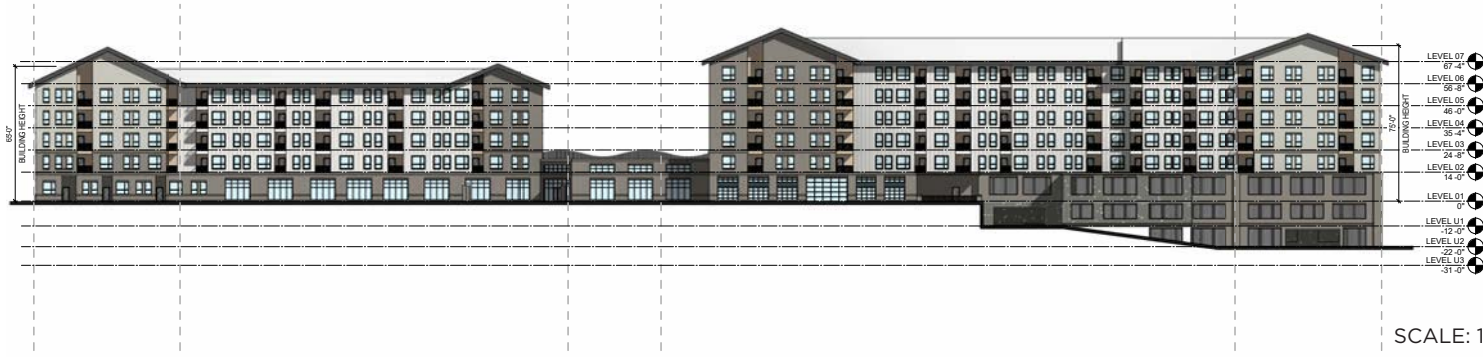
South Elevation



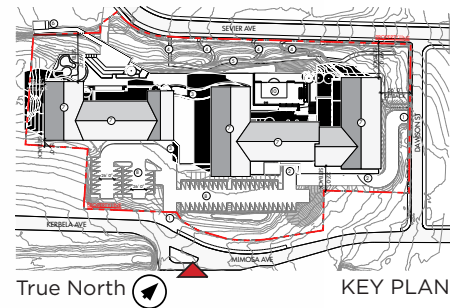
SCALE: 1"=60'



KEY PLAN



SCALE: 1"=60'



KEY PLAN

Enlarged Elevation - Sevier Ave



MATERIAL KEY:
FCP: Fiber Cement Panel
ST: Stone Veneer
BR: Brick Masonry



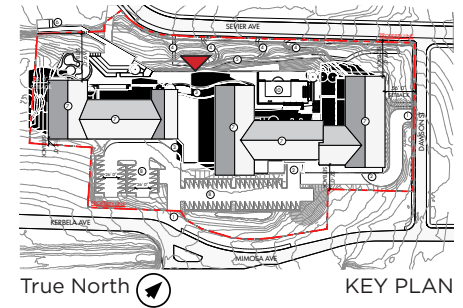
ST01 - Stone Veneer



FCP01 - White Board and Batten Fiber Cement



FCP02 - Wood Textured Fiber Cement Siding



KEY PLAN

**MICHAEL
GRAVES**

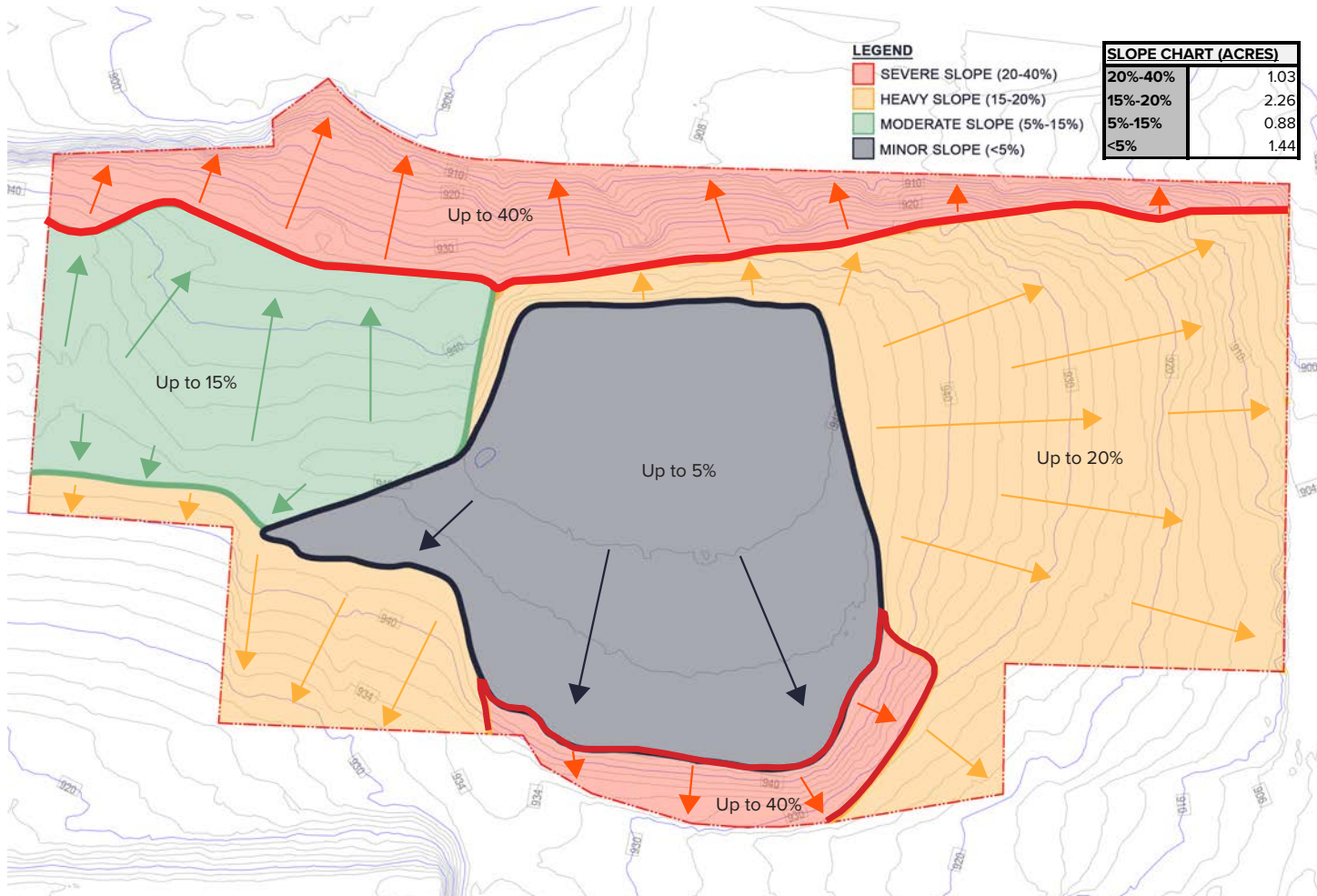


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SITE GRADING DIAGRAM



Site Topography



LEGEND

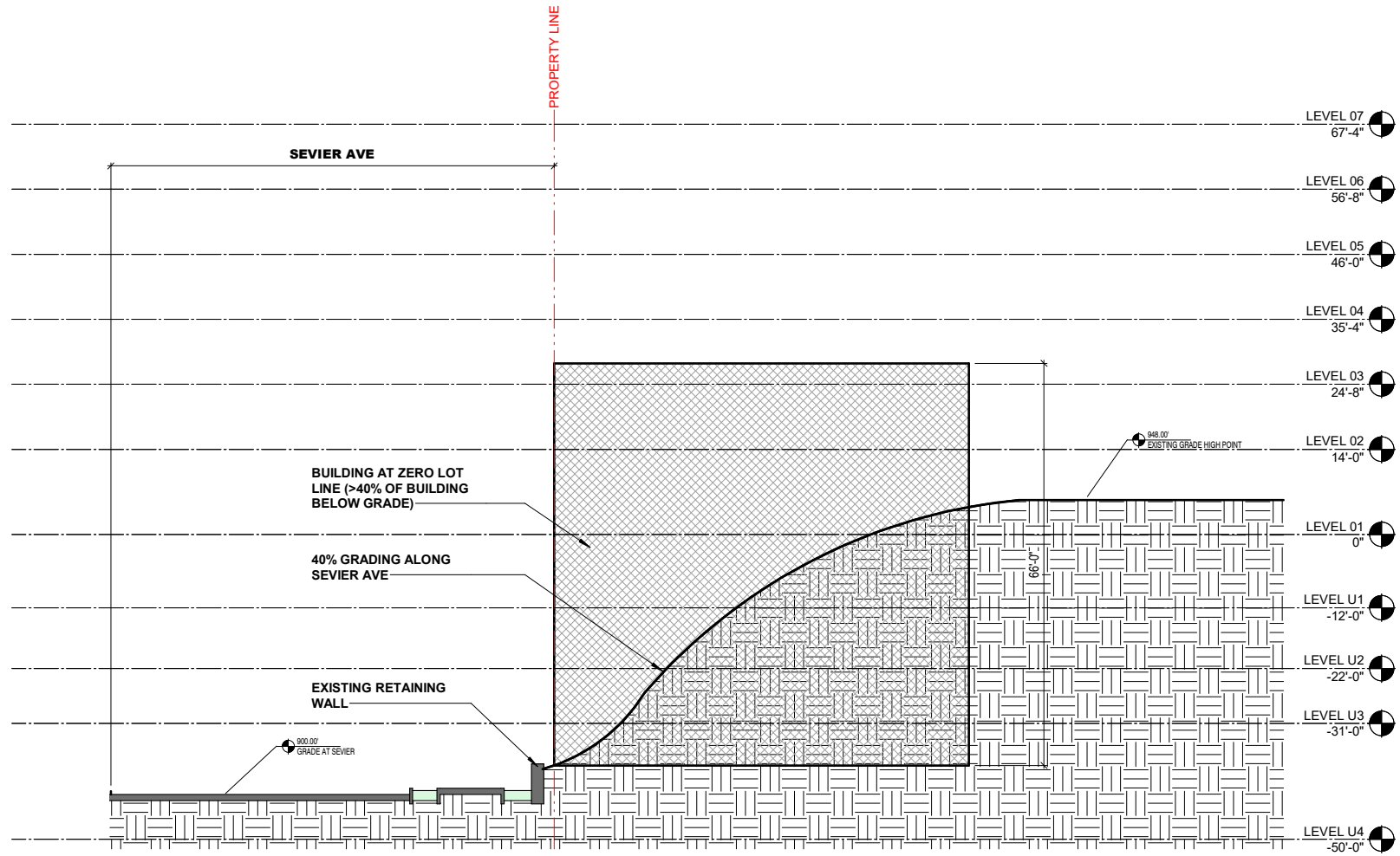
- SEVERE SLOPE (20-40%)
- HEAVY SLOPE (15-20%)
- MODERATE SLOPE (5%-15%)
- MINOR SLOPE (<5%)

SLOPE CHART (ACRES)

20%-40%	1.03
15%-20%	2.26
5%-15%	0.88
<5%	1.44

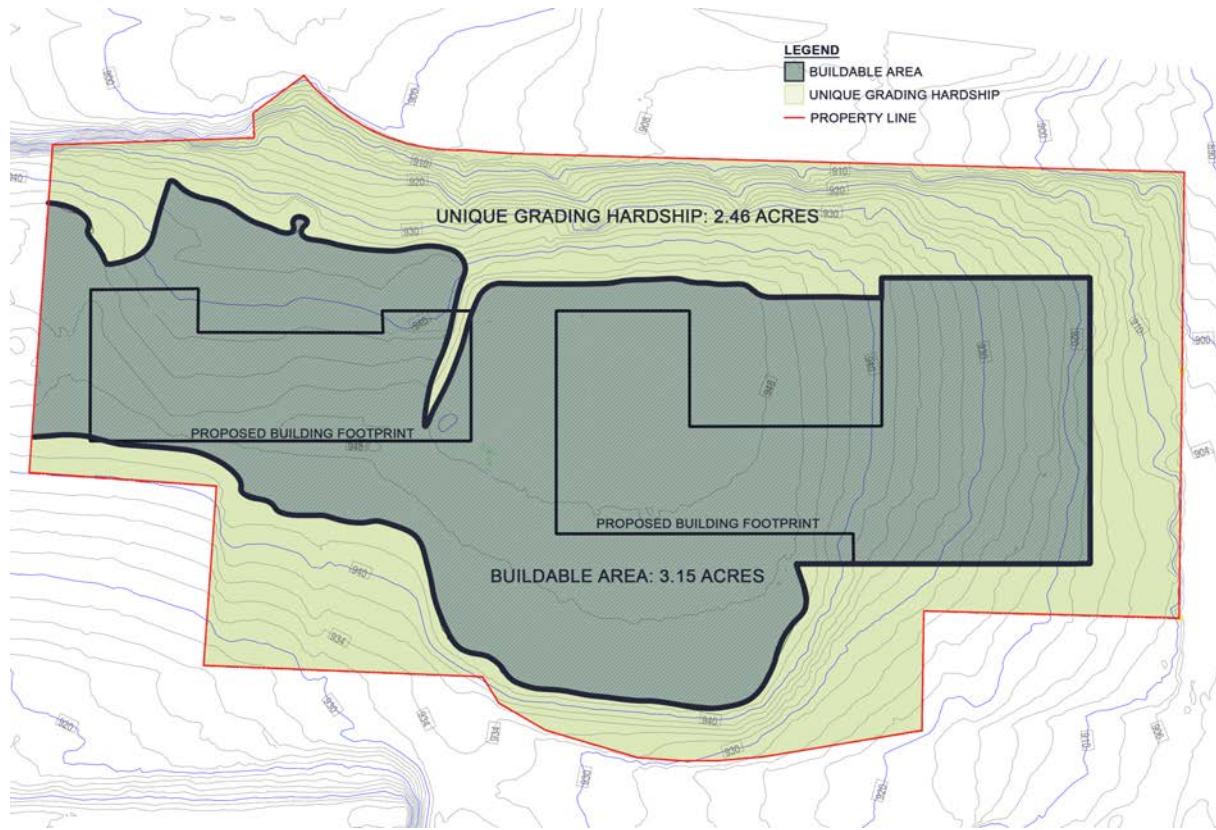


BUILDABLE AREA



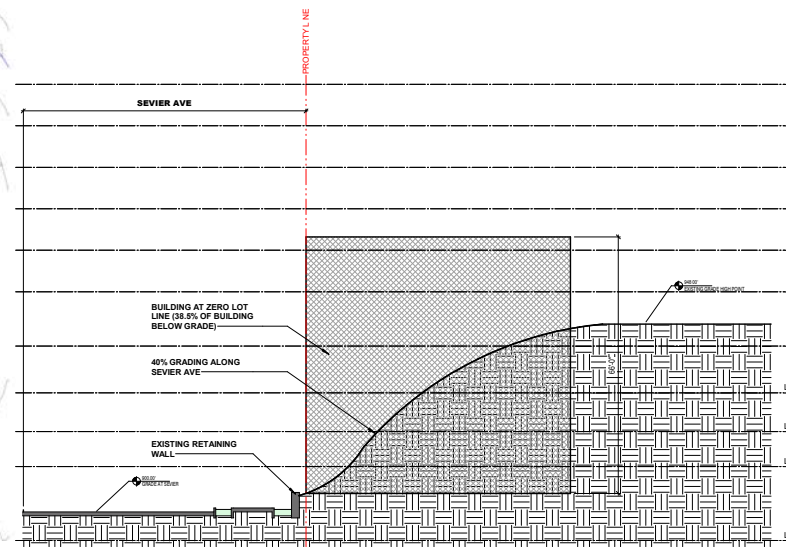
SECTION AT "ZERO LOT LINE"

BUILDABLE AREA



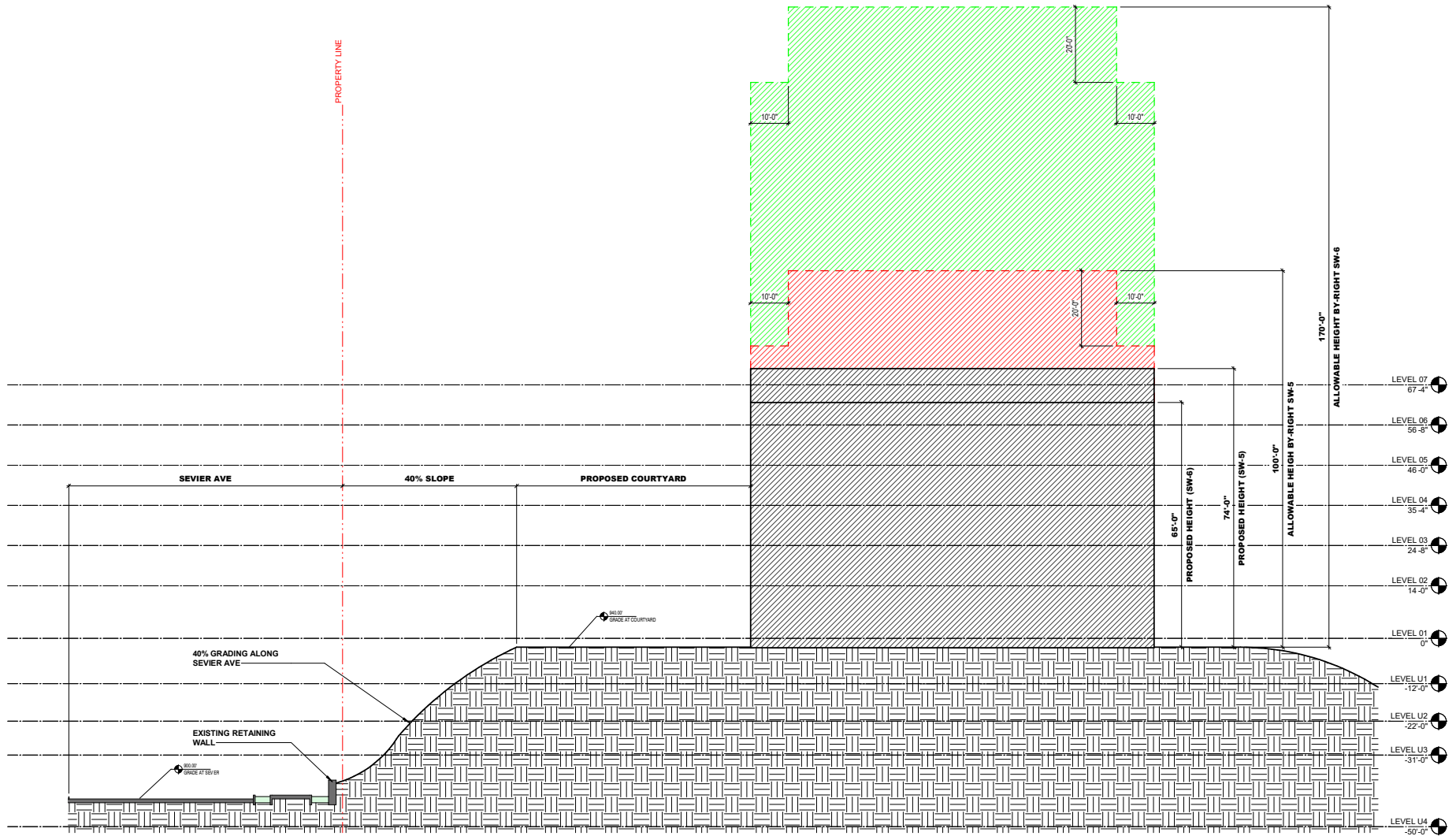
BUILDABLE AREA DIAGRAM

OVERALL LOT BUILDABLE AREA CHART (ACRES)			
	BUILDABLE AREA	UNIQUE GRADING HARDSHIP	TOTAL
SITE	3.15	2.46	5.61
RATIO	56.10%	43.90%	100%

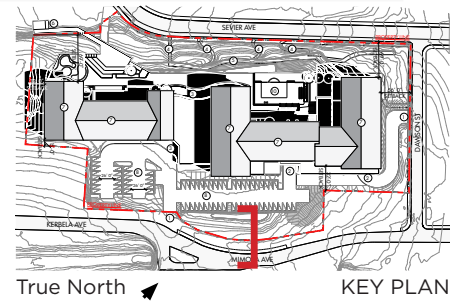
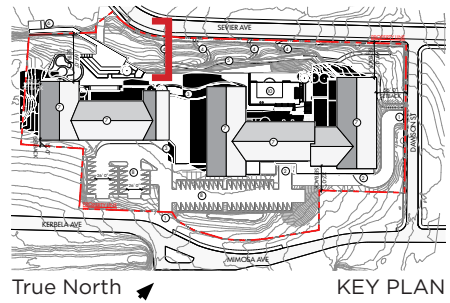
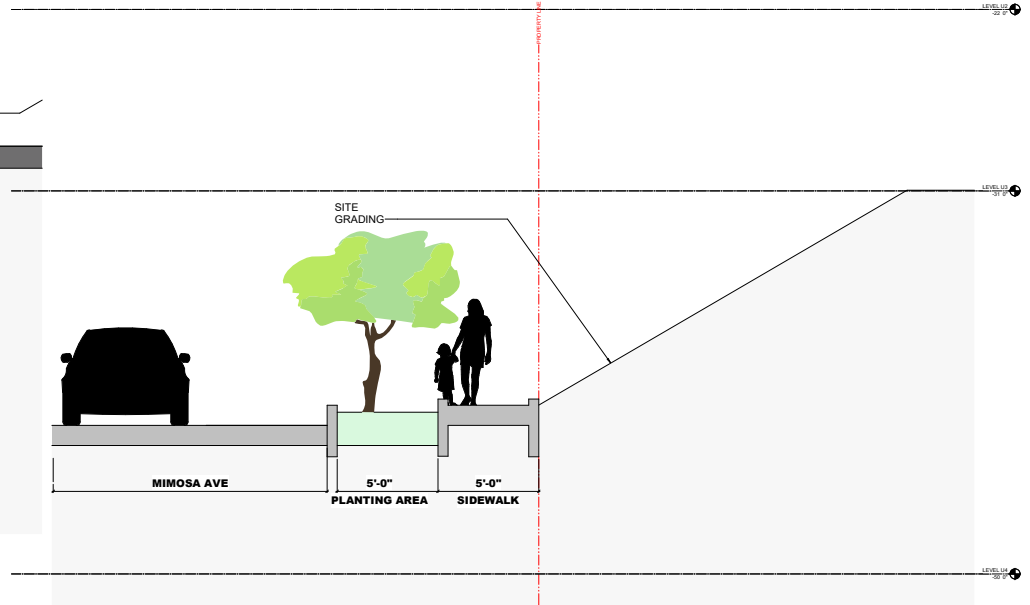
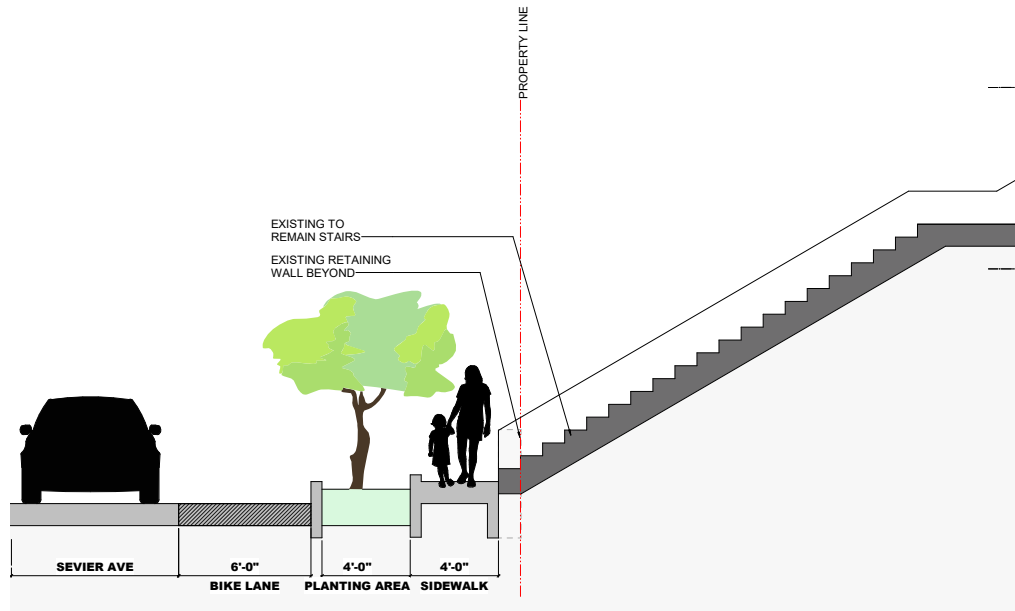


SECTION AT "ZERO LOT LINE"

BUILDABLE HEIGHT DIAGRAM



Streetscape - Sevier Ave.



LEVEL 02



SPACE USAGE

- 1BD
- 1BD+DEN
- 2BD
- 2BD+DEN
- 3BD
- AMENITY

TYPICAL (LEVEL 03-05)

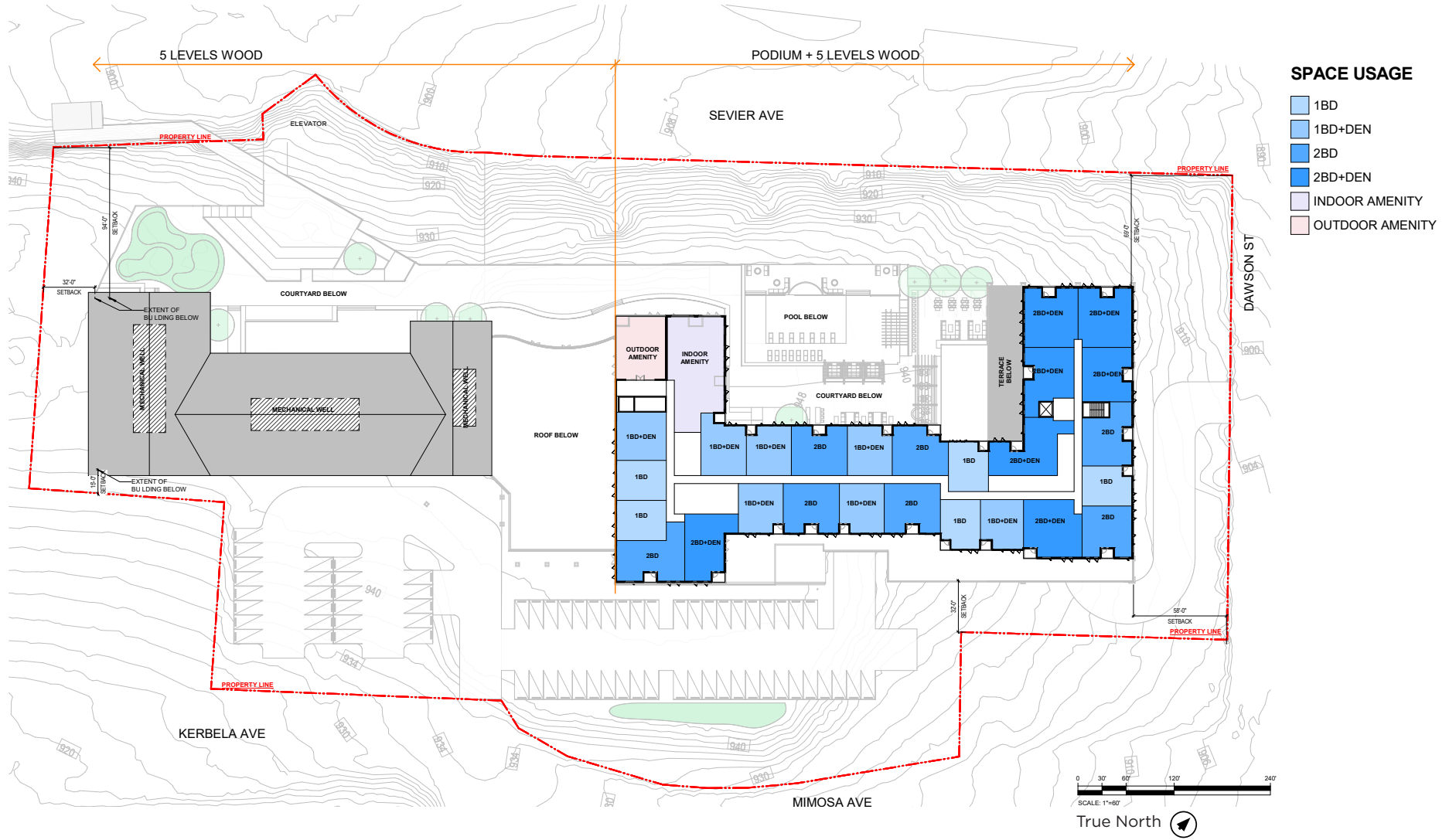


SPACE USAGE

- 1BD
- 1BD+DEN
- 2BD
- 2BD+DEN
- 3BD



LEVEL 06



SPACE USAGE

- 1BD
- 1BD+DEN
- 2BD
- 2BD+DEN
- INDOOR AMENITY
- OUTDOOR AMENITY

Enlarged Elevation - Sevier Ave.



MATERIAL KEY:
FCP: Fiber Cement Panel
ST: Stone Veneer
BR: Brick Masonry



ST01 - Stone Veneer



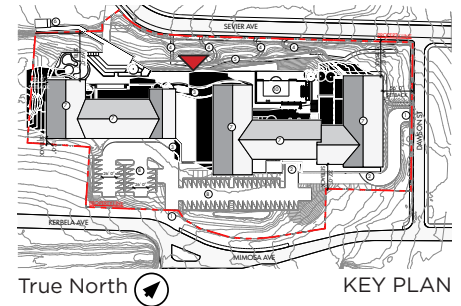
FCP01 - White Board and Batten Fiber Cement



FCP02 - Wood Textured Fiber Cement Siding



BR01 - Brick Masonry, Brown and Grey Blend



KEY PLAN

MICHAEL GRAVES

 CR ENDEAVORS

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Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

3.28.26

Date to be Posted

4.10.26

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

Yes No

No, but I plan to prior to the Planning Commission meeting


Applicant Signature

RYAN ROBERTSON
Applicant Name

2.20.26
Date